



THE

Gill Newsletter

April 2012 Issue

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Town Hall News

Annual Town Meeting

This year's Annual Town Meeting will be held on Monday, May 7 at 7:00 PM. Non-monetary articles will be considered that evening, and then the meeting will be continued to June 19 at 6:30 PM. Please save both dates on your calendar. We hope to see you there—your thoughts and ideas, opinions and votes are all important!

Warrant articles for the Annual Town Meeting need to be submitted to Ray Purington by April 9 at Noon. A request form for warrant articles may be downloaded from the Town's website (www.gillmass.org) and is also available at Town Hall.

Annual Town Elections

will be held on Monday, May 21 from Noon to 8 PM at the Fire Station.

Opening on the Capital Improvement Planning Committee

There is currently an opening on the CIPC for an At-Large member (any Gill resident). If you are interested in being appointed to this committee by the Selectboard, please contact Ray Purington, Administrative Assistant, 413-863-9347 or administrator@gillmass.org.

The purpose of the CIPC is to study proposed capital projects and improvements, and to consider the relative need,

impact, timing, and cost of each project, and its effect on the finances of the town. The Committee prepares an annual capital plan that recommends projects and budgets for the next fiscal year, and outlines recommended capital improvements for the following five fiscal years.

Opening on the Conservation Commission

There is still a vacancy on the Conservation Commission. Any Gill resident who might be interested in joining this group is encouraged to contact one of the other members to learn more about responsibilities. You may find their names on the website, www.gillmass.org.

Boiler Replacement at Public Safety Complex

The boiler replacement project at the Public Safety Complex has been awarded to Tognarelli Heating & Cooling, the low bidder at \$54,174. With winter's weather nearly behind us, this project will start in the next few weeks.



Check in with the
Gill Website
www.gillmass.org
for up to date news,
announcements and
contact information!



Safety Grants

The Town received all three of the Loss Control Grants that were applied for from MIIA, our insurer for property, casualty, and workers' compensation. An award of \$1,122 was made to allow the purchase of a magnetic manhole cover lifter, which will help prevent back injuries when the Highway Department is working on the sewer system in Riverside. A second award of \$580 will allow the Fire Department to purchase two folding, fluorescent, reflective "Emergency Scene Ahead" signs. Last, the Town received \$2,800 to have an architect evaluate the condition of the roofs at the Town Hall, Public Safety Complex, Riverside Municipal Building, Gill Elementary School, and Slate Memorial Library.

Spring Clean Sweep Collection

The Franklin County Solid Waste District is holding a "Clean Sweep" bulky waste collection on Saturday, May 12, 2012 from 9 AM to 12 noon. The three drop-off sites are: the Buckland Recreation Facility on Rt. 112 South, the Northfield Highway Garage, and the Whately Transfer Station.

Residents of Gill and other district towns may bring a wide range of bulky items such as tires, computers, televisions, appliances, scrap metal, furniture, mattresses, carpeting, construction debris, propane gas tanks,

and other large items. Materials will be recycled whenever possible.

Residents do not need to pre-register for the collection. However, there are charges for disposal. Businesses may participate. Disposal fees, cash only, will be collected from residents during check-in at each site. A complete list of prices for the most common items is available on-line at: www.franklincounty-wastedistrict.org. Another collection will occur on October 20 at the same locations and hours as above. For more information, call the District office at 413-772-2438 or email info@franklincountywastedistrict.org.

Prescription Drug Take Back Day

National Prescription Drug Take Back Day is Saturday, April 28 from 10 AM – 2 PM. This is an easy, safe, no-questions-asked way for you to dispose of old prescription medications, vitamins, non-prescription medicines, and veterinary drugs. The primary drop off site is at the Greenfield High School. Other local sites include the Erving Police Station, Montague Safety Complex, and the Bernardston Senior Center. For information, go to www.northwesternnda.org.

Massachusetts ParksPass

The Town is again participating in the Department of Conservation and Recreation's ParksPass pro-

gram. The ParksPass is a hanging tag that entitles the bearer to free parking for one vehicle at over 50 facilities in the Massachusetts state parks system that charge a day-use parking fee. The ParksPass may be signed out from the Slate Memorial Library.

Burn Permits

One last reminder – Burning season runs through May 1. Burning brush requires a permit and can only be done during burning season. If a Gill resident would like to burn brush on a given day, please go to www.fcburnpermits.com and complete the online permit. People without computer access may still call 625-8200, and Shelburne Control will fill out the form.

*Ray Purington,
Administrator Assistant*

From the Town Clerk

Dog Licenses and Town Census

The Town Clerk would like to remind dog owners to have their dogs licensed as soon as possible. Anyone who has not yet returned the Census/Street List information sheet, please make sure to return it. Questions? Call the Town Clerk at 863-8103.



Gill Outdoor Recreation Program

Has anyone ever asked you what you *do* in Gill?

We all have different responses of course, and yet for many, when it comes time for fun and entertainment, we often hop into our cars and look for action outside of town. However, what if one of these times, we simply got together with our neighbors and went on an adventure out the back door?

The Gill Outdoor Recreation Program (GORP) helps to bring community members of all ages together to explore the beauty of our back yards and to have some fun. GORP began in December of 2011 with a core group of adventurous community members who so far have explored trails along the river, caroled down the streets of Gill, trekked through the town forest, and ventured through moonlit fields. GORP is a fantastic way to meet Gill neighbors and explore parts of the town. Our hope is to keep the enthusiasm going into the spring with more ideas and more outings. Join us for the these upcoming events:

Vernal Pool Stroll with Sally Shaw

Sunday April 1 at 2 PM

- Meet at intersection of River Road and Barney Hale Road.
- Wear boots. No dogs please!

Second Sunday of the month bike rides

Starts Sunday, April 8 at 1 PM

- Continues throughout the spring and summer.
- Meet at the Gill Tavern.
- The length and difficulty of the route will be determined by who shows up.
- All ages and abilities are welcome!

Medicinal Herb Walk with Bonnie Bloom

April 21 at 1 PM

- Meet at 73 River Rd

Canoe and Kayak to the Cove with Susan Lascala

June 6 at 2 PM

- Kayak, cook, watch a full moon rise over Barton's cove.
- Bring your own BBQ materials.
- RSVP to gillgorp@gmail.com to coordinate boats.

Are you interested in leading an event? Contact gillgorp@gmail.com with your ideas or volunteer to organize... a star gazing hike, a Gill pie baking competition, a Gill garden tour, a bike rodeo at the Gill Arts and Crafts Festival, a town tool exchange inventory, a town skills exchange inventory, a gear exchange in the tavern basement.

People may post and find events on FACEBOOK under G.O.R.P (Gill Outdoor Recreation Program) and

on our webpage:

gillgorp.wordpress.com

We hope to hear your ideas and see you on the trails!

Mass SAVE

Just Say No to Needless Suffering: Confessions from Janet Masucci, a member of the Gill Energy Commission

In August 1985 I moved into the old country store on Rt. 2 with my then husband, Jim. A big old tree to the south of the house shaded the windows. It is hard to remember back that far, but I thought the house seemed comfortable even though Jim complained about the heat. We had a huge powerful fan in the attic that cooled the whole house.

Come winter we noticed that it was quite cold upstairs; as a matter of fact we only went upstairs to sleep and could not wait to get under the down quilt with the electric blanket pre-heater. Jim wore a hat. I reasoned that people used to live in cold, damp caves so we should not complain.

Despite our tightening up the house with new storm doors and windows, the temperatures were uneven; every room was drafty and chilly except my office that got a great solar gain during the day from the south facing windows.



Well, years went by, oil got more expensive, the fan and the big shade tree expired, and so did the marriage. Summers seemed to get hotter. Somehow I learned to use thick socks and blankets in the cold, but the heat became oppressive. When it was too hot to go upstairs, I found myself sleeping downstairs on the couch with an air conditioner or out back in the studio with the windows open and the fan on. Sometimes it was so hot that even after a shower I could not see through the sweat to comb my hair.

Finally, I realized that as much as I wanted to conserve energy, I did not want to keep suffering like this. I signed up for an energy audit with Mass Save, and I qualified for up to \$2000 worth of improvements to my house. First, they went into the basement and sealed up cracks that cause cold air infiltration. Then they also replaced a dozen or more light bulbs with the more efficient CFLs and replaced my shower head with a more efficient one that does not diminish the pleasure of my shower. Since they were putting cellulose in the attic, I only needed to add \$200 to get a full 12 inches of insulation. When I removed the floor boards to prepare and discovered there was NO INSULATION at all underneath them, I saw a vision of my oil dollars previously going up in smoke and out the window!

Three years later I am feeling cozy in my house, and even with the

price of oil going sky high, my oil budget is about the same or less. The electric bill is \$20-30 a month lower. Last year I took advantage of energy tax credits and had a new front door installed to my kitchen. Now that room is no longer 10 degrees colder than the rest of the house. I am getting older now, and maybe I am being a sissy, but I am no longer suffering needlessly.

Call MassSAVE today and get your Free Energy Audit! If you have not had one in the last year, call today and look forward to saving energy dollars.

Call (866) 527-7283 TODAY!

If you have a story to tell about improving your life and/or reducing your energy consumption with weatherization, send it to the Gill Energy Commission. We would like to print one every month in the Gill Newsletter. email to encom@gill-mass.org

Slate Library News

Signs of spring are happening outside the library. I am hearing children playing in the sandbox and the door slamming as little patrons come in to pick out new books.

We have lots of new items to keep you busy this spring including audiobooks for car trips. Some new titles that you will find on the shelf include *V is for Vengeance* by Sue Grafton as well as *Explosive Eighteen* by Janet Evanovich. We also have

the latest by Stephen King, Jodi Picoult, and a host of Swedish crime novelists. In non-fiction you will find Pamela Druckerman's *Bringing Up Bebe* as well as the biography of Herge, author of the beloved *TinTin*.

Story hour fun continues into June with stories for kids of all ages and popcorn for everyone. Over the next month we will explore themes such as "Planting a Garden", "Our Feathered Friends", "Signs of Spring" and "Animal Tracks." Story hour is held every Friday morning at 10:00 AM, and we always welcome new families to join us on the alphabet rug.

Planning for summer reading is underway as well. The Gill Cultural Council has graciously funded two events: Craig Harris with his program "Drumming Away the Blues" will get things shaking for families on the Slate library lawn in June, and the Boston Museum of Science will pay the library a visit and present a fascinating program about reptiles in July. Look for more information in the coming months about our summer reading program "Dream Big! And Read!".

Annual Gill Arts and Crafts Festival

Set aside *September 15-16* for the Annual Gill Arts and Crafts Festival at the Riverside building on Route 2. In our 20th year, we are putting



together another great festival with new crafters, musicians, and children's activities. The Friends of Gill will be making apple pies with local apples. More information will come in the June newsletter.

Recreation Committee

Red Sox Tickets

The Gill Recreation Committee is selling Red Sox tickets for a 1:30 game on Sunday, May 6. The Boston Red Sox will play the Baltimore Orioles. \$60 a ticket includes Travel Kuz coach.

Make checks payable to Town of Gill and mail to: Gill Recreation Committee, Town Hall, 325 Main Road, Gill, MA 01354. Hurry! Tickets are reserved on a first-come, first-served basis with payment. Questions? Contact Rose at 863-4249.

This event is open only to Gill residents until April 1. Then tickets will be opened for the public.

School News

Bravo for Gill Elementary School Composting!

During the month of November, the entire Gill-Montague Regional School District launched composting programs in the cafeterias and school kitchens. Gill Elementary started composting on November 8. Not your average backyard compost program - this type of "off site" composting, sometimes called commercial composting, accepts all food waste including meat, bones, dairy, and all paper waste, such as milk cartons and napkins.

Students place food, milk cartons, and paper from their lunch trays in a special bright green compostable bag. Every day after lunch, the bags of food and paper waste from the cafeteria are taken outside to the compost dumpster. The dumpster is emptied every week, and the contents are delivered to Martin's Farm in Greenfield for composting.



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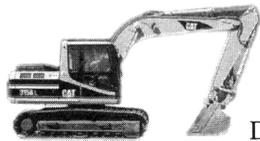
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Similar off-site compost programs have been operating for many years at Pioneer Valley Regional School, Northfield, Bernardston, Deerfield, Erving, Whately, and Sunderland elementary schools.

Before the program started, Amy Donovan from Franklin County Solid Waste District gave students and staff an educational presentation about composting and recycling. Composting saves money on trash disposal, helps slow climate change, and creates valuable soil out of waste.

Students learned that plastic items like straws, plastic utensils, single serving cups, and condiment packets cannot turn into soil and therefore must go in the trash. Milk cartons, napkins, and all leftover food go in the compost because they *can* become soil.

The results from one day (Nov. 22) of weighing compost and trash at the end of lunch are: 23 lbs. compost, 9 lbs. trash = 72% compost, 28% trash. In the future, more bags will be weighed to get an average as the amount of trash and compost varies depending on the type of lunch served. Fifth and sixth grade students helped weigh the bags and used their math skills in averages and percentages to calculate the daily total above.

The Gill Elementary School kitchen is also separating food and paper waste for composting. The kitchen staff has renamed the former trash bin "compost" and now uses a very small container for trash.

The next step for the compost program at Gill Elementary will be the collection of compostable materials from the classrooms: snack milk cartons, snack leftovers, napkins and paper towels. The MA DEP Green Team awarded Gill Elementary two wheeled totes for the hallways. The Solid Waste District provided 4-gallon pails and signage for the classrooms.

Adult compost monitors are needed to help supervise the sorting of students' lunch trays. Monitors must be CORI checked easily arranged through the Superintendent's Office. Please contact Amy Donovan if you can help out: 413-772-2438.

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President

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HONORS For Gill Students

Turners Falls High School Second Quarter

Grade 12

First Honors: Emily Robertson
Second Honors: Colton Hallett, Brittany Rawson, and Kaleb Warren
Third Honors: Matthew Gibson

Grade 11

First Honors: Katelyn Dodge
Second Honors: Timothy Meyer, Nala Vaughn
Third Honors: Ceara Dolhenty, Brittany York

Grade 10

Second Honors: Tyler Richardson
Third Honors: Elliott Bertini-Franseen

Grade 9

Second Honors: Jessica Gaines, Alexander Morin, and Nicholas York
Third Honors: Zachary Demars, Spencer Hubert, and Stephanie Robertson

Great Falls Middle School

Grade 8

First Honors: Fallyn Adams and Mackenzie Phillips
Third Honors: Nadia Hasan and Alexander Lindgren

Grade 7

First Honors: Tahner Castine and Kate Sprankle
Second Honors: Gabrielle Arzuaga, Bryn Kruzlic, Kaili Lynch, and Nicholas Morin

Grade 6

First Honors: David Tricolici

Pioneer Valley Regional School

FIRST QUARTER

Grade 12

Highest Honor: Jacob Levin

Grade 11

High Honor: Jaclyn Lafleur and Kaylyn Tognarelli
Honor: Jennifer Tufano

Grade 10

Honor: Whitney Urgiel

Grade 9

Highest Honor: Malcolm Crosby, Gabriel Duska
High Honor: Ellen Arena
Honor: James Elliott

Grade 8

Highest Honor: Garrett Dintamen, Anna Messer, Simon van Baaren and Julia Wallace
Honor: Bradley Hastings, Benjamin Tufano

Grade 7

Highest Honor: Sophie Margola

Second Quarter

Grade 12

Highest Honor: Jacob Levin

Grade 11

High Honor: Jaclyn Lafleur
Honor: Kaylyn Tognarelli and Jennifer Tufano

Grade 9

Highest Honor: Gabriel Duska
High Honor: Malcolm Crosby
Honor: Ellen Arena and James Elliott

Grade 8

Highest Honors: Garrett Dintaman, Anna Messer, Simon van Baaren, and Julia Wallace
High Honor: Bradley Hastings
Honor: Benjamin Tufano

Grade 7

Highest Honor: Sophia Margola

Dean's List

Barrie Cameron and Nicholas Duska were named to the dean's list for the fall 2011 semester at the University of Massachusetts, Amherst, MA.

Abbey Daniel-Green was also named to the dean's list for the fall 2011 semester at Lasell College, Newton, MA.

Gill Historical Commission

The Gill Historical Commission (GHC) meets on the third Tuesday of each month at 6:30 PM in the Riverside Building on Route 2. The Commission is charged with planning for the preservation of historical sites and records within Gill. In addition to gaining a nomination to the National Register for the center of town, the Commission maintains records and artifacts of Gill history in the Riverside municipal building. If you have information or questions about Gill and its history, please contact Kit Carpenter, Bev Demars, Stuart Elliott, Lynda Hodsdon Mayo, or Pam Shoemaker.

Gill School Project

If you have pictures or stories from the Gill School Houses, please share them with the Gill Historical Commission. If you have pictures, we will scan or copy them. Also, we are looking for early tinted pictures of the Riverside School building so that we may determine the original paint colors and features.

GILL CRAFT FAIR 2012

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September 15 and 16
at the Riverside School on
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Final Gill Solar Bylaw

SECTION 23: SOLAR ELECTRIC INSTALLATIONS (proposed new Section of the Zoning Bylaws)

A. Purpose

The purpose of this bylaw is to facilitate the creation of new Large-Scale Ground-Mounted Solar Electric Installations (see Section 23B. Definitions) by providing standards for the placement, design, construction, operation, monitoring, modification and removal of such installations that address public safety, minimize impacts on environmental, scenic, natural and historic resources and to provide adequate financial assurance for the eventual decommissioning of such installations.

The provisions set forth in this section shall apply to the construction, operation, and/or repair of Large-Scale Ground-Mounted Solar Electric Installations greater than 15 kW.

1. Applicability

This section applies to Large-Scale Ground-Mounted Solar Electric Installations greater than 15 kW. Smaller scale (15 kW or less) ground mounted solar electric installations which are an accessory structure to an existing residential or non-residential use do not need to comply with this section, but require a building permit and must comply with all applicable local, state and federal requirements, including but not limited to all applicable safety, construction, electrical, and communications requirements and other provisions of Gill's Zoning Bylaws such as setback requirements.

Large-Scale Ground-Mounted Solar Electric Installations greater than 15 kW and up to 250 kW that occupy no more than one (1) acre of land proposed to be constructed in the Solar Electric Overlay District are allowed As-of-Right, but are subject to Site Plan Review (see Section 24) and the requirements of this section.

Large-Scale Ground-Mounted Solar Electric Installations which require a Special Permit and Site Plan Review in accordance with the Zoning Bylaws of the Town of Gill, in addition to meeting the requirements of this section are as follows:

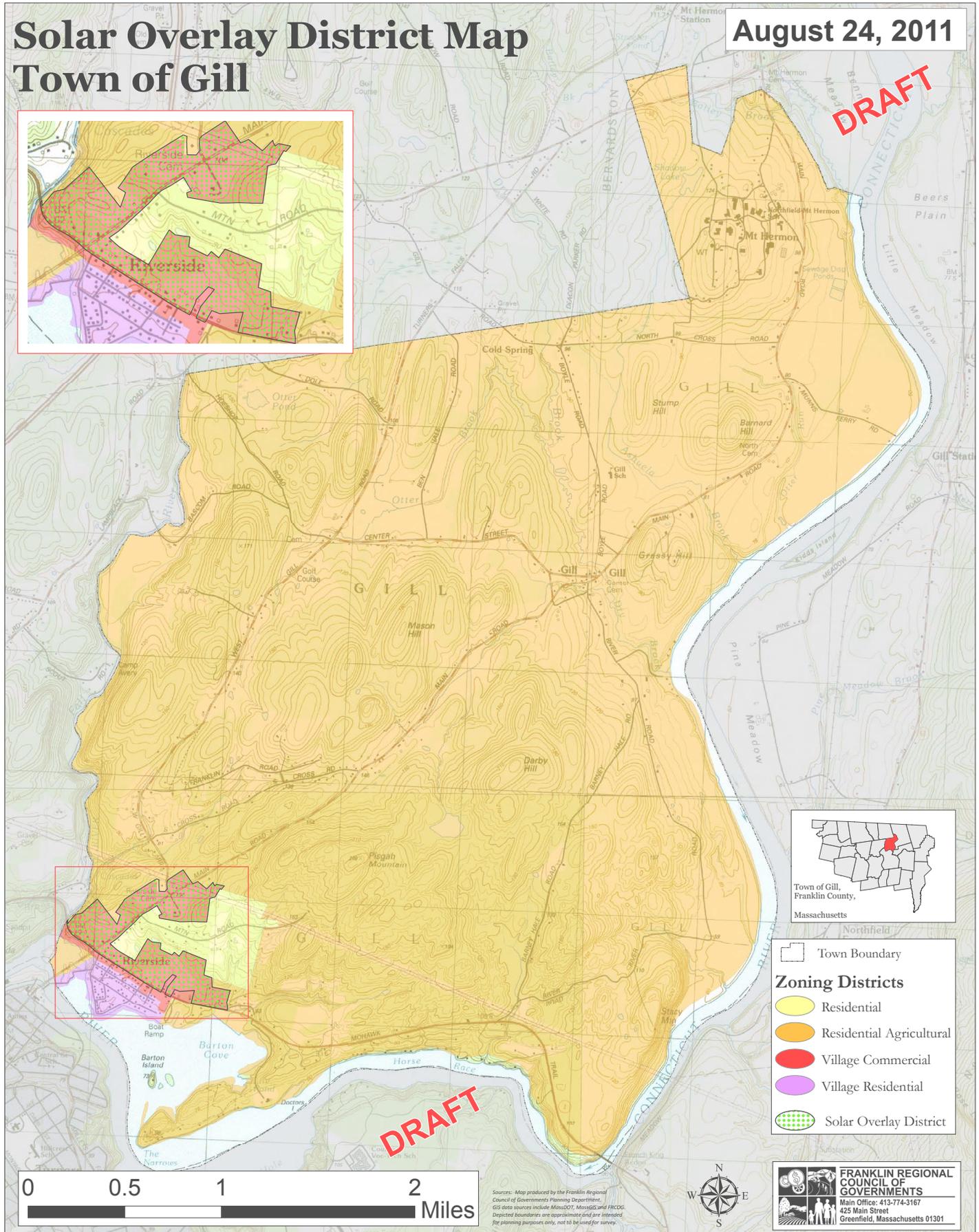
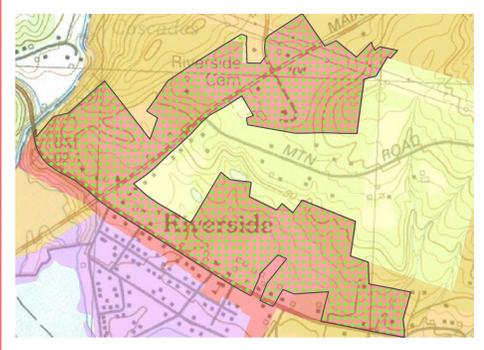
- a. an installation greater than 15 kW up to 250 kW located outside of the Solar Overlay District; and
- b. an installation larger than 250 kW or an installation occupying more than one (1) acre of land on one or more adjacent parcels (including those separated by a roadway) located either inside or outside the Solar Electric Overlay District in the R, R-A, or VC Zoning Districts.



Solar Overlay District Map Town of Gill

August 24, 2011

DRAFT



Town of Gill,
Franklin County,
Massachusetts

Town Boundary

Zoning Districts

- Residential
- Residential Agricultural
- Village Commercial
- Village Residential
- Solar Overlay District



Sources: Map produced by the Franklin Regional Council of Governments Planning Department. GIS data sources include MassDOT, MassGIS and FRCOG. Depicted boundaries are approximate and are intended for planning purposes only, not to be used for survey.



FRANKLIN REGIONAL COUNCIL OF GOVERNMENTS
Main Office: 413-774-3167
425 Main Street
Greenfield, Massachusetts 01301



This section also pertains to physical modifications that materially alter the type, configuration, or size of Large-Scale Ground-Mounted Solar Electric installations or related equipment.

All buildings and fixtures forming part of a solar electric installation shall be constructed in accordance with the Massachusetts State Building Code.

B. Definitions

As-of-Right Siting: As-of-Right Siting shall mean that development may proceed without the need for a special permit, variance, amendment, waiver, or other discretionary approval. As-of-right development may be subject to Site Plan Review. Projects cannot be prohibited, but can be reasonably regulated by the inspector of buildings, building commissioner or local inspector, or if there is none in a town, the Board of Selectmen, or person or board designated by local ordinance or bylaw.

Building Inspector: The inspector of buildings, building commissioner, or local inspector, or person or board designated by local ordinance or bylaw charged with the enforcement of the zoning ordinance.

Building Permit: A construction permit issued by an authorized building inspector. The building permit evidences that the project is consistent with the state and federal building codes as well as local zoning bylaws, including those governing ground-mounted large-scale solar electric installations.

Designated Location: The Solar Electric Overlay District designated by the Town of Gill is shown on the Solar Overlay District Map dated August 24, 2011, in accordance with Massachusetts General Laws Chapter 40A. This map is hereby made a part of this Zoning Bylaw and is on file in the Office of the Gill Town Clerk.

Large-Scale Ground-Mounted Solar Electric Installation: A solar electric system that is structurally mounted on the ground or on poles placed in the ground, and is not roof-mounted, and has a minimum nameplate capacity greater than 15 kW.
Rated Nameplate Capacity: The maximum rated output of electric power production of the Electric system in Alternating Current (AC) or Direct Current (DC).

Site Plan Review: Review by the Zoning Board of Appeals to determine conformance with local zoning ordinances or bylaws.

Solar Photovoltaic Array: An arrangement of solar photovoltaic panels.

Zoning Enforcement Authority: The Building Inspector is charged with enforcing the zoning ordinances or bylaws.

C. General Requirements for all Large Scale Solar Ground-Mounted Solar Electric Installations

The following requirements are common to all Large-Scale Ground-Mounted Solar Electric installations.

1. Compliance with Laws, Ordinances and Regulations

The construction and operation of all Large-Scale Ground-Mounted Solar Electric Installations shall be consistent with all applicable local, state and federal requirements, including but not limited to all applicable safety, construction, electrical, and communications requirements. All buildings and fixtures forming part of a solar electric installation shall be constructed in accordance with the Massachusetts State Building Code.

2. Building Permit and Building Inspection

No Large-Scale Ground-Mounted Solar Electric Installations shall be constructed, installed or modified as provided in this section without first obtaining a building permit including payment of any required fees.

D. Site Plan Review

Large-Scale Ground-Mounted Solar Electric Installations shall undergo Site Plan Review (see Section 24) by the Zoning Board of Appeals prior to construction, installation or modification as provided in this section.

1. General

All plans and maps shall be prepared, stamped and signed by a Professional Engineer licensed to practice in Massachusetts.

2. Required Documents

The project proponent shall provide the following



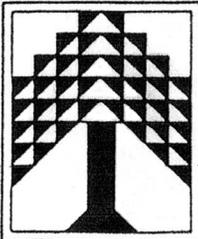
documents in addition to or in coordination with those required for Site Plan Review (see Section 24):

- a. A site plan showing:
 - i. Property lines, map and lot from the Assessor's records, and physical features, including roads and topography, for the project site;
 - ii. Proposed changes to the landscape of the site, grading, vegetation clearing and planting, exterior lighting, screening vegetation or structures including their height;
 - iii. Locations of wetlands, Priority Habitat Areas defined by the Natural Heritage & Endangered Species Program (NHESP)
 - iv. Locations of Floodplains or inundation areas for moderate or high hazard dams;
 - v. Locations of local and national historical, and archeological districts;
 - vi. A list of any hazardous materials proposed to be located on the site in excess of household quantities and a plan to prevent their release to the environment as appropriate;
 - vii. Blueprints or drawings of the solar electric installation signed by a Professional Engineer licensed to practice in the Commonwealth of Massachusetts showing the proposed layout of the system and any potential shading from nearby structures;
 - viii. One or three line electrical diagram detailing the solar electric installation, associated components, and electrical interconnection methods, with all National Electrical Code compliant disconnects and overcurrent devices;
 - ix. Documentation of the major system components to be used, including the electric generating components, transmission systems, mounting system, inverter, etc.;
 - x. Name, address, and contact information for proposed system installer;
 - xi. Name, address, phone number and signature of the project proponent, as well as all co-proponents or property owners, if any;
 - xii. The name, contact information and signature of any agents representing the project proponent; and
 - xiii. Documentation of actual or prospective access and control of the project site;
- b. An operation and maintenance plan (see Section 23F.);



Solar Hot Water and Solar Electric

John Ward Claire Chang
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 NEWSLETTER**

Copy for the next newsletter should be sent
 to pshoe27@gmail.com
 no later than June 7.
 The approximate mailing date is June 15.



- c. Zoning district designation for the parcel(s) of land comprising the project site (submission of a copy of a zoning map with the parcel(s) identified is suitable for this purpose);
- d. Proof of liability insurance; and
- e. Description of financial surety that satisfies Section 23L.

3. Historical and Archaeological Areas

The owner should obtain written verification from the Town Clerk as to whether or not the project is sited within a local or national historical or archeological district. If the project is within such a district, then at the time of site plan submission to the Town Clerk, the owner must also:

- a. Complete a Project Notification Form (obtain from: <http://www.sec.state.ma.us/mhc/>) accompanied by standard documents (USGS locus map, scaled project plans showing existing and proposed conditions, and current photographs keyed to the plan).
- b. Send the items in (a) above along with the Site Plans documents (D.2.a) above to the Massachusetts Historical Commission with a cover letter requesting the Commission send its response to the Zoning Board of Appeals, the Gill Historical Commission, and the owner.
- c. A copy of the packet assembled in (b) above should also be sent to the Gill Historical Commission.

The Zoning Board of Appeals may waive one or more requirements for submittal as outlined in Section 23.D.2. (Required Documents) for projects 60 kW or less, upon written request by the applicant, if in the opinion of the Zoning Board of Appeals the scale or site conditions of the proposed project warrants such a waiver. In addition, the Zoning Board of Appeals may reduce the setback requirements of Section 23.H.1 for projects 60 kW or less, upon written request by the applicant, provided that such reduced setbacks meet the minimum setback requirements for the zoning district where the facility is located as outlined in Section 3 Dimensional Schedule. Such determination to waive one or more of the submittal requirements or to allow a reduction in setbacks

shall be in the sole discretion of the Zoning Board of Appeals.

E. Site Control

The project proponent shall submit documentation of actual or prospective access and control of the project site sufficient to allow for construction and operation of the proposed solar electric installation.

F. Operation & Maintenance Plan

The project proponent shall submit a plan for the operation and maintenance of the Large-Scale Ground-Mounted Solar Electric Installation, which shall include measures for maintaining safe access to the installation, storm water and vegetation controls, as well as general procedures for operational maintenance of the installation.

G. Utility Notification

No large-scale, ground-mounted solar electric installation shall be constructed until evidence has been given to the Zoning Board of Appeals that the utility company that operates the electrical grid where the installation is to be located has been informed of the solar electric installation owner or operator’s intent to install an interconnected facility. Off-grid systems shall be exempt from this requirement.

H. Dimension and Height Requirements

1. Setbacks

For Large-Scale Ground-Mounted Solar Electric Installations, front, side and rear setbacks shall be as follows:

- a. Front yard: The front yard depth shall not be less than 50 feet.
- b. Side yard. Each side yard shall have a depth of at least 50 feet.
- c. Rear yard. The rear yard depth shall not be less than 50 feet.

The required setback areas should not be included in the 1 acre maximum calculation for By-Right solar electric installations (see Section 23A.).

2. Appurtenant Structures

All appurtenant structures to Large-Scale Ground-Mounted Solar Electric Installations shall be sub-



ject to reasonable regulations concerning the bulk and height of structures, lot area, and setbacks as specified in Section 23H., open space, parking and building coverage requirements. All such appurtenant structures, including but not limited to, equipment shelters, storage facilities, transformers, and substations, shall be architecturally compatible with each other. Whenever reasonable, structures should be screened from view by vegetation and/or joined or clustered to avoid adverse visual impacts.

3. Height of Structures

The height of any structure associated with a Large-Scale Ground-Mounted Solar Electric Installation shall not exceed 35 feet.

I. Design and Performance Standards

1. Lighting

Lighting of solar electric installations shall be consistent with local, state and federal law. Lighting of other parts of the installation, such as appurtenant structures, shall be limited to that required for safety and operational purposes, and shall be reasonably shielded from abutting properties. Lighting of the solar electric installation shall be directed downward and shall incorporate full cut-off fixtures to reduce light pollution.

2. Signage

An identification sign with manufacturer/operator's name and emergency contact information shall be required at the facility site. Signs on Solar Electric Installations shall comply with Gill's sign bylaw.

Solar electric installations shall not be used for displaying any advertising except for reasonable identification of the manufacturer or operator of the solar electric installation.

3. Utility Connections

Reasonable efforts, as determined by the Zoning Board of Appeals, shall be made to place all utility connections from the solar electric installation underground, depending on appropriate soil conditions, shape, and topography of the site and any requirements of the utility provider. Electrical transformers for utility interconnections may be above ground if required by the utility provider.

4. Roads

Access roads shall be constructed to minimize grading, removal of stone walls or trees and minimize impacts to environmental or historic resources.

5. Hazardous Materials

Hazardous materials stored, used, or generated on site shall not exceed the amount for a Very Small Quantity Generator of Hazardous Waste as defined by the DEP pursuant to MassDEP regulations 310 CMR 30.000 and shall meet all requirements of the DEP including storage of hazardous materials in a building with an impervious floor that is not adjacent to any floor drains to prevent discharge to the outdoor environment. If hazardous materials are utilized within the solar electric equipment then impervious containment areas capable of controlling any release to the environment and to prevent potential contamination of groundwater are required.

J. Safety and Environmental Standards

1. Emergency Services

The Large-Scale Ground-Mounted Solar Electric Installations owner or operator shall provide a copy of the project summary, electrical schematic, and site plan to the local Fire Chief. Upon request the owner or operator shall cooperate with local emergency services in developing an emergency response plan. All means of shutting down the solar electric installation shall be clearly marked. The owner or operator shall identify a responsible person for public inquiries throughout the life of the installation.

2. Land Clearing, Soil Erosion and Habitat Impacts

Clearing of natural vegetation shall be limited to what is necessary for the construction, operation and maintenance of the Large-Scale Ground-Mounted Solar Electric Installation or otherwise prescribed by applicable laws, regulations, and bylaws.

K. Monitoring, Maintenance and Reporting

1. Solar Electric Installation Conditions

The Large-Scale Ground-Mounted Solar Electric Installation owner or operator shall maintain the facility in good condition. Maintenance shall include, but not be limited to, painting, structural repairs, control of vegetation, and integrity of



security measures. Site access shall be maintained to a level acceptable to the local Fire Chief and Emergency Management Director. The owner or operator shall be responsible for the cost of maintaining the solar electric installation and any access road(s).

2. Modifications

Any material modification which would increase the kW size, scale (footprint), or height of the solar electric installation by more than 5% after issuance of the required building permit shall require approval by the Zoning Board of Appeals.

L. Abandonment or Decommissioning

1. Removal Requirements

Any large-scale ground-mounted solar electric installation which has reached the end of its useful life or has been abandoned consistent with Section 23L.(2) of this bylaw shall be removed. The owner or operator shall physically remove the installation no more than 150 days after the date of discontinued operations. The owner or operator shall notify the Zoning Board of Appeals by certified mail of the proposed date of discontinued operations and plans for removal. Decommissioning shall consist of:

- a. Physical removal of all Large-Scale Ground-Mounted Solar Electric Installations, structures, equipment, security barriers and transmission lines from the site.
- b. Disposal of all solid and hazardous waste in accordance with local, state, and federal waste disposal regulations.
- c. Stabilization or re-vegetation of the site as necessary to minimize erosion. The Site Plan Review Authority may allow the owner or operator to leave landscaping or designated below-grade foundations in order to minimize erosion and disruption to vegetation.

2. Abandonment

Absent notice of a proposed date of decommissioning or written notice of extenuating circumstances,

the solar electric installation shall be considered abandoned when it fails to operate for more than one year without the written consent of the Zoning Board of Appeals. If the owner or operator of the Large-Scale Ground-Mounted Solar Electric Installation fails to remove the installation in accordance with the requirements of this section within 150 days of abandonment or the proposed date of decommissioning, then the Town retains the right, after the receipt of an appropriate court order, to enter and remove an abandoned, hazardous or decommissioned Large-Scale Ground-Mounted Solar Electric Generating Installation. As a condition of Site Plan or Special Permit approval, an applicant shall agree to allow entry to remove an abandoned or decommissioned installation. The cost for the removal will be charged to the property owner in accordance with the provisions of M.G.L. 139, Section 3A as a tax lien on the property

3. Financial Surety

The Zoning Board of Appeals may require that a performance bond, secured by a deposit of money, negotiable securities or other form acceptable to the Zoning Board of Appeals in the form selected by the Zoning Board of Appeals, be posted with the Town to guarantee compliance with the conditions of the permit. Such surety will not be required for municipal or state-owned facilities. The project proponent shall submit a fully inclusive estimate of the costs associated with removal, prepared by a qualified engineer. The amount shall include a mechanism for calculating increased removal costs due to inflation.

SECTION 24: SITE PLAN REVIEW

B. Projects requiring Site Plan Review

6. *Large-Scale Ground-Mounted Solar Electric Installations greater than 15 kW.*



CHANGES TO OTHER SECTIONS OF THE EXISTING ZONING BYLAWS

Please note: Proposed additions are in *italics* Proposed deletions are [underlined and in brackets]

SECTION 2: USE REGULATIONS

		R	R-A	VC	VR
8.	Industrial Uses				
a.	Sawmills and Woodmills	SP	SP	SP	No
b.	Public Utilities:				
	I. [<u>Solar,</u>] Wind, or Hydro-Electric Generating Facilities	SP	SP	SP	No
	II. Other Non-nuclear Electric Generating Facilities	No	No	SP	No
	III. Transmission Lines Substations & Switchyards	SP	SP	SP	No
	<i>IV. Large-Scale Ground-Mounted Solar Electric Installations greater than 15 kW up to 250 kW that meet the requirements of Section 23¹</i>	<i>SP</i>	<i>SP</i>	<i>SP</i>	<i>SP</i>
	<i>V. Large-Scale Ground-Mounted Solar Electric Installations greater than 250 kW that meet the requirements of Section 23</i>	<i>SP</i>	<i>SP</i>	<i>SP</i>	<i>N</i>
c.	Commercial radio, television, microwave or other transmitting or receiving towers	No	SP	SP	No
d.	Light Industry	No	SP	SP	No
e.	Printing & Publishing	No	SP	SP	No
f.	Warehousing, bulk storage, and self-storage	No	SP	SP	No

1 – Large-Scale Ground-Mounted Solar Electric Installation greater than 15 kW up to 250 kW that meet the requirements of Section 23 that are located in the Solar Overlay District are allowed By-Right (Yes) but are subject to Site Plan Review.



Business Advertisements

The Gill Newsletter will include business card size advertisements of local businesses for a year (six bi-monthly issues) for \$60.00. Please send a copy of your business card and a check for \$60.00 payable to 'Town of Gill' to Barbara Watson, 143 River Road, Gill, MA 01354.

Disclaimer:

The opinions expressed in this newsletter are not necessarily those of the editors, the organizing committee or town officials and should not be construed as such. Although we work to produce accurate and typographically correct copy, we and our advertisers cannot be responsible for errors or the accuracy of materials submitted to us.

The costs of mailing the newsletter have increased so that our budget is very tight. If you would like to make a contribution to help us meet expenses, we would appreciate your sending a check, payable to "Town of Gill", to Barbara Watson, 143 River Road, Gill, MA 01354.

Gill Fire Dept.
196 Main Road
Gill, MA 01354-9747

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