



GILL ELEMENTARY SCHOOL ROOF REPLACEMENT PROJECT

Public Information Sessions, April 8 & April 11, 2026

ROOF SCOPE – EXISTING CONDITIONS



GRANULE LOSS AND DELAMINATION



SEAL FAILURE COMMON



ORGANIC DEBRIS AND LICHEN GROWTH



FAILED FLASHING SEAMS



BROKEN AND MISSING SHINGLES



MISSING CAPS AND EXPOSED NAILS

ROOF SCOPE – EXISTING CONDITIONS



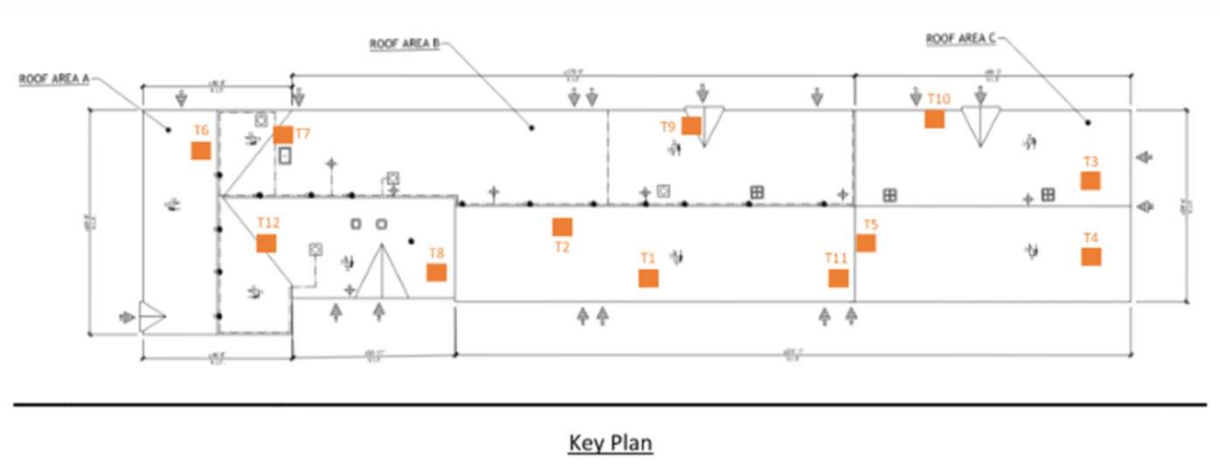
ROOF AREA A

- 3-Tab asphalt roofing shingles
- 30# asphalt-impregnated felt paper underlayment
- 5/8" plywood nail base
- 2x furring (ventilation space)
- OSB sheathing
- 2" structural T&G deck



ROOF AREA B

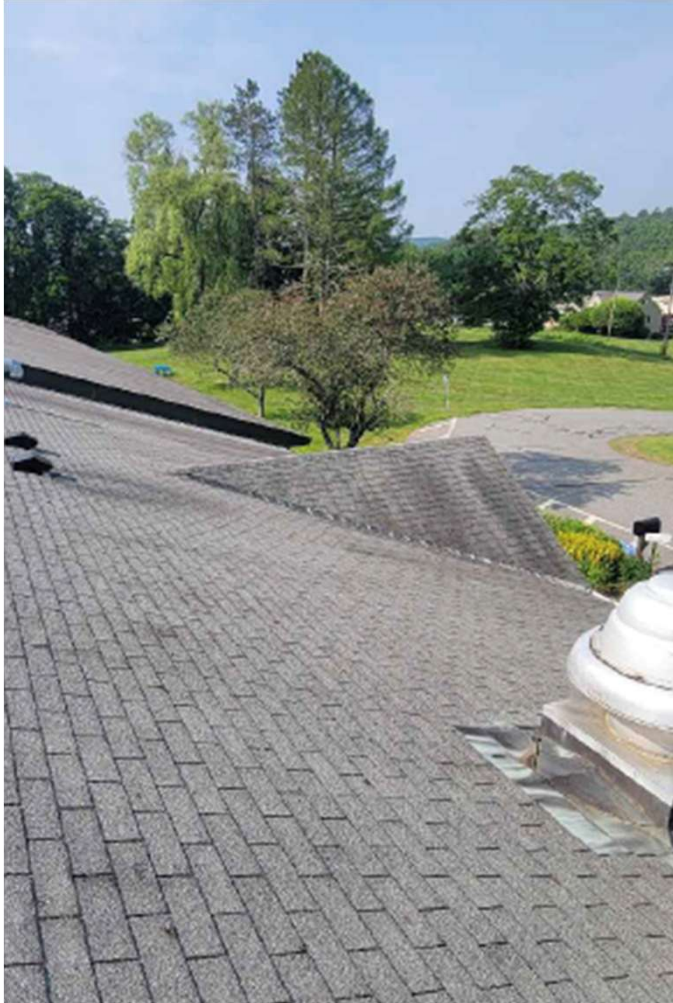
- 3-Tab asphalt roofing shingles
- 30# asphalt-impregnated felt paper underlayment
- 1 x 6 (Nominal) T&G deck



ROOF AREA C

- 3-Tab asphalt roofing shingles
- 30# asphalt-impregnated felt paper underlayment
- 5/8" T&G plywood deck





WHY THIS PROJECT & WHY NOW

Urgency Due to Roof Condition

The aging roof risks leaks and costly damage, making immediate replacement essential to protect the building.

Code Compliance

Replacement includes required accessibility upgrades to meet State and Federal regulations.

Efficiency and Sustainability Opportunities

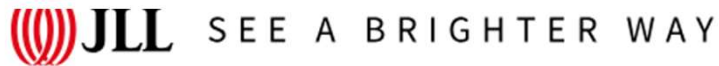
Replacing the roof provides a low-cost opportunity for energy efficiency improvements and solar readiness improvements for future renewable energy.

Funding Opportunity

MSBA funding covers approximately 77% of eligible costs, reducing financial burden and making the project cost-effective for residents.

Risks of Delay or Downvote

Delaying risks losing funding and facing higher future costs due to worsening roof conditions and inflation.



PROCESS, OVERSIGHT & MSBA APPROVAL

Collaborative Planning Process

The Gill Roof Replacement Committee, the architect, and the project manager evaluated roofing options focusing on durability and lifecycle costs.

Rigorous Evaluation Criteria

The project prioritized long-term value over upfront cost, considering energy performance and durability.

MSBA Oversight and Approval

The Massachusetts School Building Authority reviewed and endorsed the project's scope, budget, and technical approach. The budget and MSBA contribution presented here has been approved by MSBA.

Town Funding

The Town is responsible for fully funding the project. MSBA will reimburse as construction progresses.

PROJECT SCOPE & FUTURE READINESS



Defined Project Scope

Remove existing roof, add insulation, improve air sealing, replace the roof surface with standing seam metal roof

Accessibility Compliance

Project budget requires renovations for full accessibility compliance with state and federal accessibility standards, enhancing safety and inclusivity.

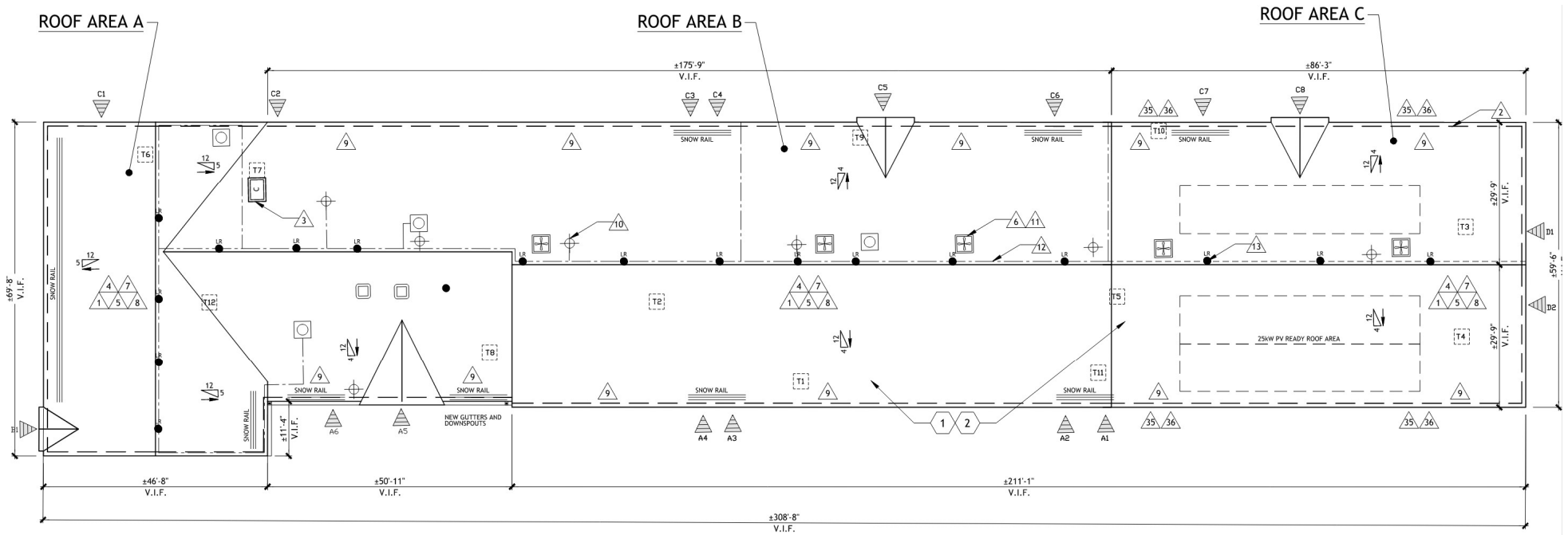
Future Solar Readiness

The roof is designed to support future solar panel installation. Solar panels are not part of this project.

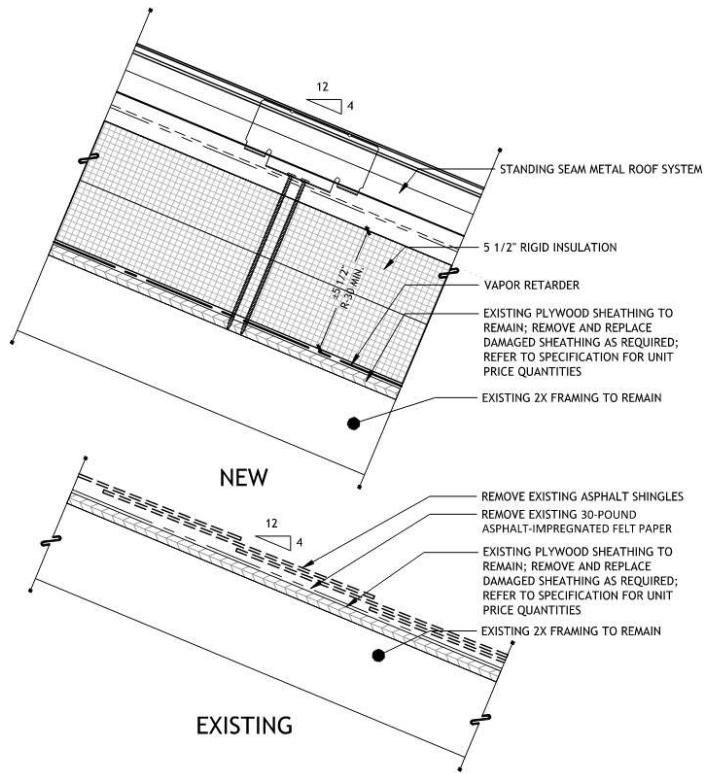
Sustainability and Flexibility

Project ensures long-term environmental responsibility and operational adaptability for future needs.

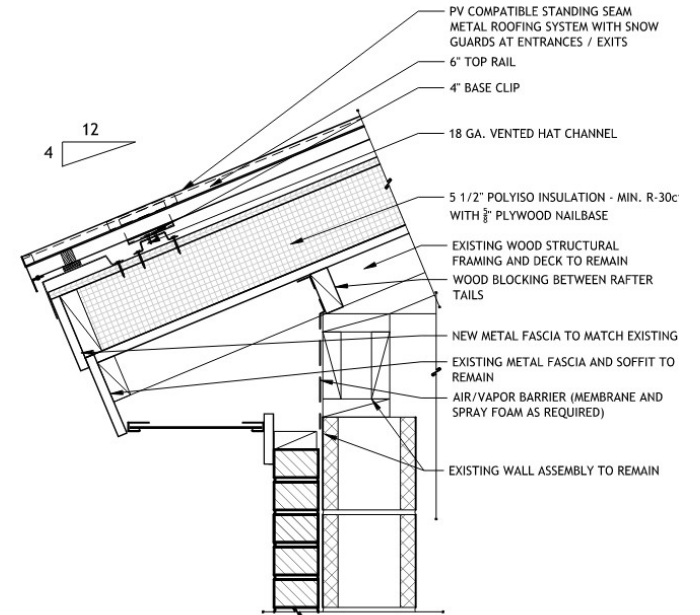
ROOF SCOPE – PROPOSED DESIGN



ROOF SCOPE – PROPOSED DESIGN

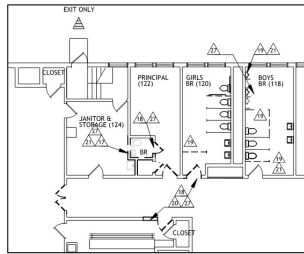


1 ROOF CROSS SECTION BASE BID
 SCALE: 3" = 1'-0"
 NOTE: ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING

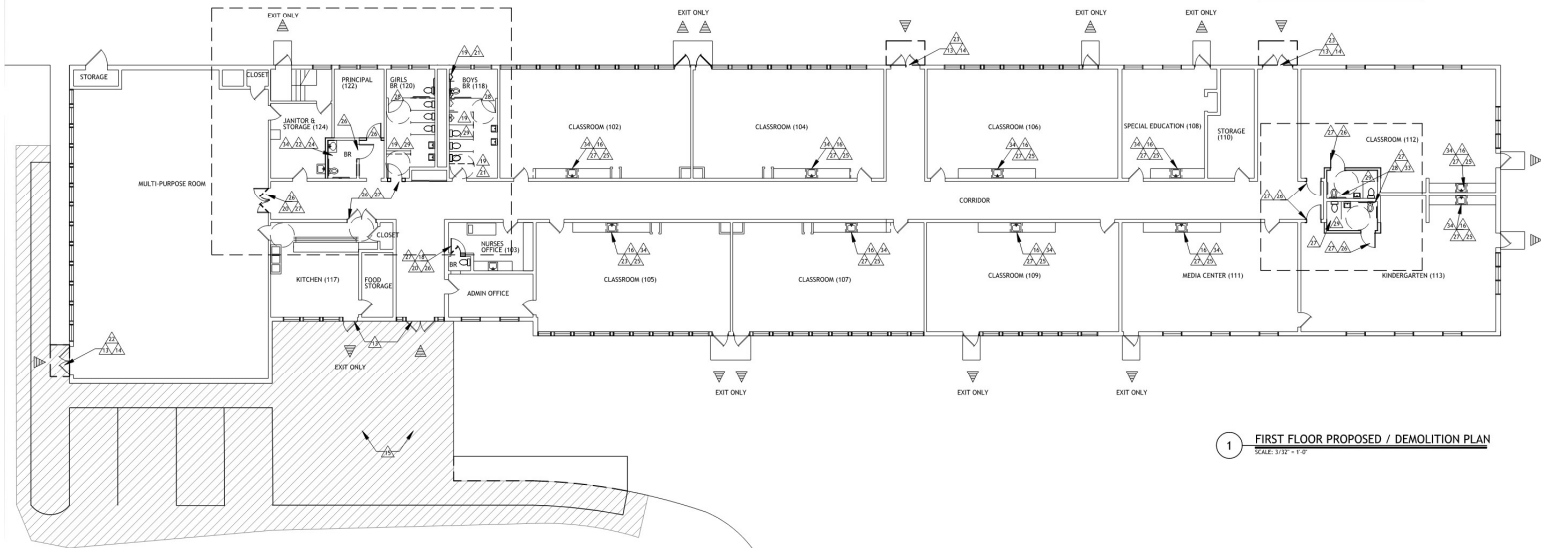
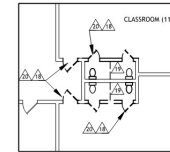


3 ROOF SOFFIT DETAIL AT CLASSROOMS
 SCALE: 1 1/2" = 1'-0"
 NOTE: ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING

ACCESSIBILITY SCOPE – INTERIOR ELEMENTS

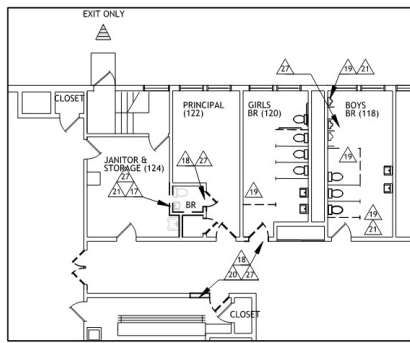


2 PARTIAL FIRST FLOOR DEMOLITION PLAN
SCALE: 3/32" = 1'-0"

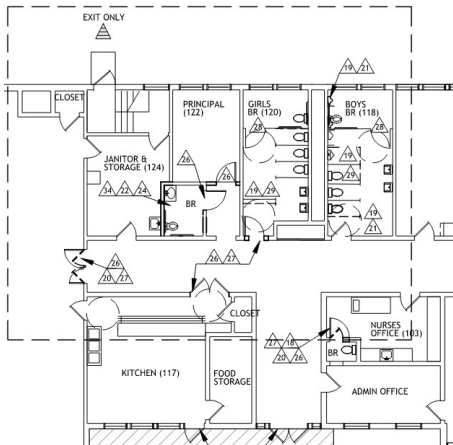


1 FIRST FLOOR PROPOSED / DEMOLITION PLAN
SCALE: 3/32" = 1'-0"

ACCESSIBILITY SCOPE – INTERIOR ELEMENTS



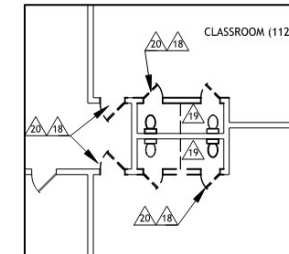
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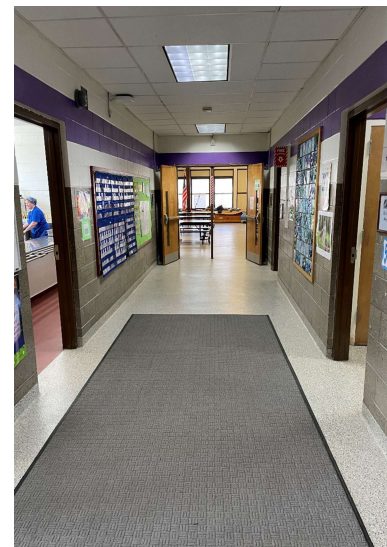
STUDENT RESTROOMS



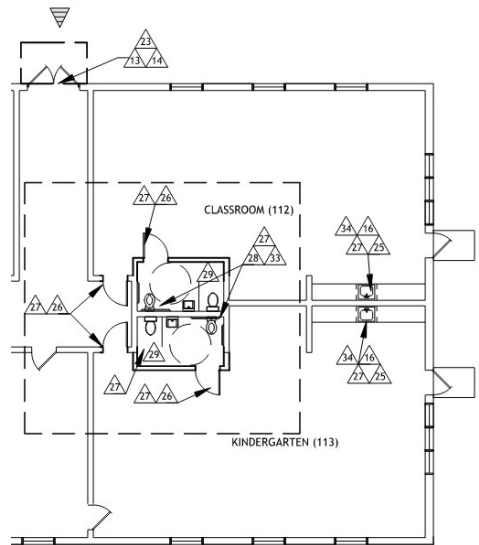
CLASSROOM SINKS



STAFF RESTROOM



DOORS – WIDTH & CLEARANCE



KINDERGARTEN RESTROOMS



CAFETERIA SERVING LINE

ACCESSIBILITY SCOPE – EXTERIOR ELEMENTS



ENTRANCE & DROP OFF



STEP AT MAIN ENTRANCE



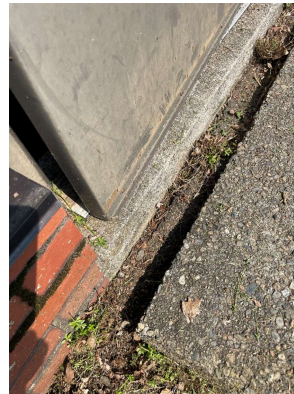
CAFETORIUM EGRESS



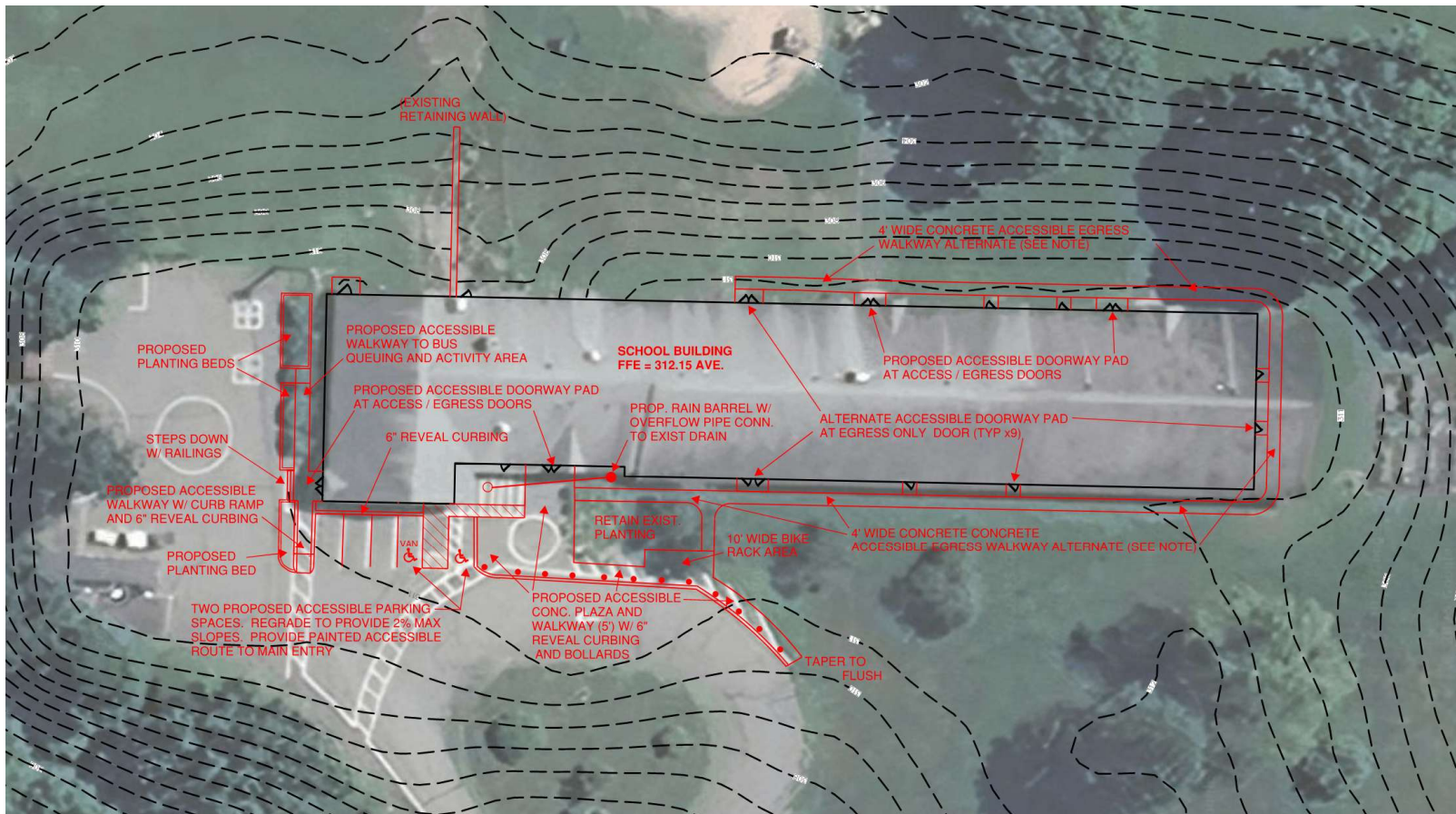
CLASSROOM EXIT



ACCESS / EGRESS



ACCESSIBILITY SCOPE – EXTERIOR ELEMENTS



ACCESSIBILITY

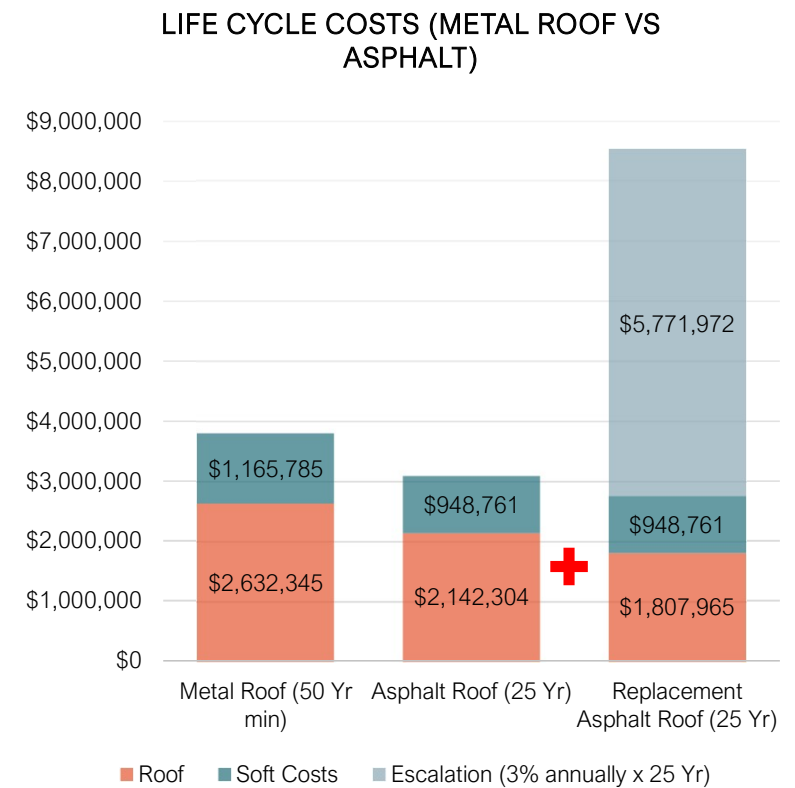
- Main Entrance
- Corridor Access / Egress Doors
- Egress Path around building
- Parking Spaces
- Bike Rack

SAFETY

- Pedestrian / Vehicle Separation at Entrance and Parking

ROOF SYSTEM SELECTION & LIFECYCLE COST ANALYSIS

EVALUATION CRITERIA	SELECTED METAL STANDING SEAM SYSTEM	ASPHALT SHINGLES
Expected Lifespan	50+ years	25 years
Maintenance Frequency	Low	Medium to High
Total Lifecycle Cost	Lowest over 50 years	Higher due to replacements and old roof material disposal



COST, FUNDING & COMMUNITY BENEFIT

FUNDING SOURCE *percentage*

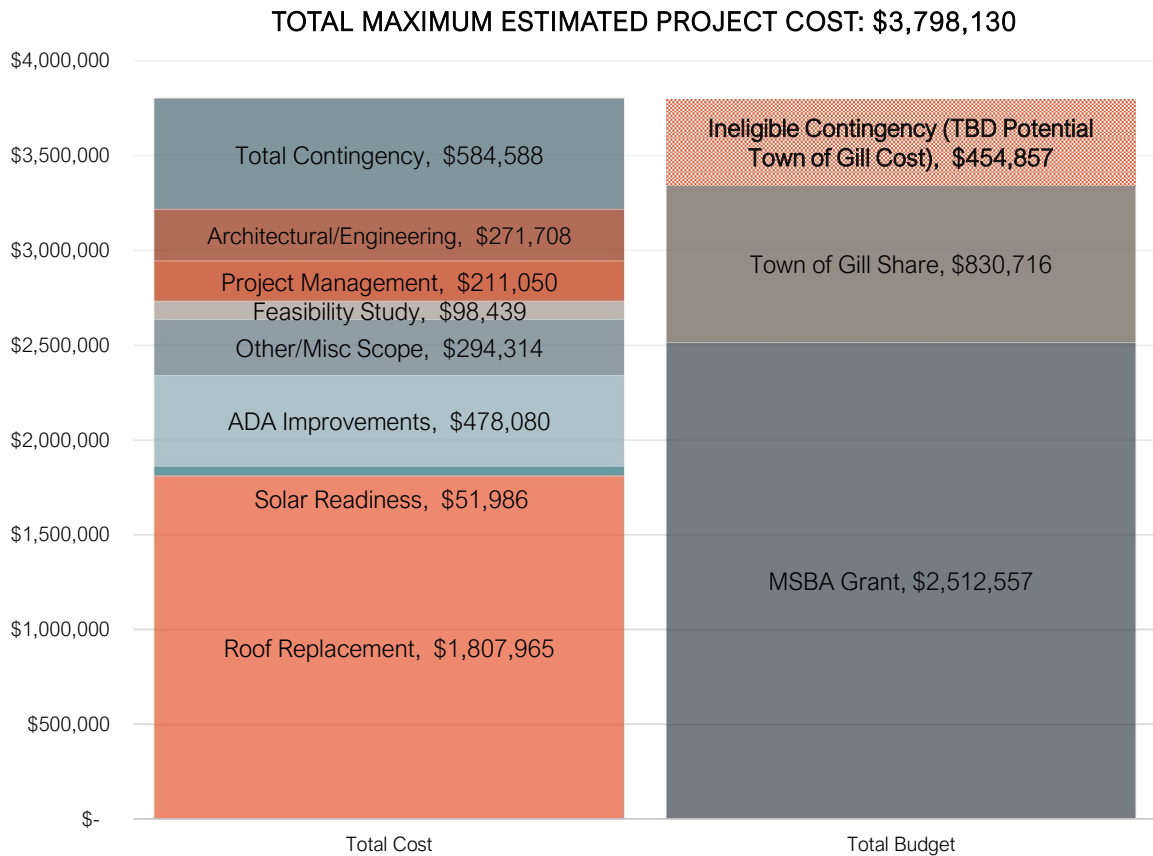
MSBA *66 to 75%*
(77.47% of eligible costs)

Town of Gill *~25% to 34%*

POTENTIAL TAX IMPACT:

For a 15-Year Loan at 4.25% interest:

- Average Assessed Value of Gill Single Family Home: **\$337,267**
- Year 1 tax burden (avg): **\$204**
- Year 15 tax burden (avg): **\$124**



CONTINGENCIES

CONTINGENCIES ARE EXTRA FUNDS USED TO COVER UNEXPECTED COSTS DURING THE PROJECT

- 10% is the minimum recommended contingency in 2026
- Construction contingency is 10% of construction budget, used for unforeseen conditions on site
- Owner's contingency is 10% of project budget, including soft costs, used for other unforeseen costs
 - Ineligible for reimbursement
- Unspent contingency goes back to the town & MSBA

TOTAL CONTINGENCY: \$584,588

CONTINGENCY ELIGIBLE FOR REIMBURSEMENT: \$129,731

